

OAKWOOD BUSINESS PARK EXTENSION

CLACTON ON SEA

DEVELOPMENT BRIEF

TENDRING DISTRICT COUNCIL

MARCH 2003

Oakwood Business Park Extension

Development Brief

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1.0 SUMMARY OF CONTENTS

- 1.1 The development brief sets out the framework to guide the phasing and planning of development of the land north of Oakwood Business Park for B1, B2 and B8 uses.
- 1.2 This extension to the existing business park comprises approximately 12.5 ha (31 acres) gross, of agricultural land to the east of Thorpe Road.
- 1.3 An identified need exists for such land which constitutes a departure from the Essex and Southend-on-Sea Replacement Structure Plan and the Adopted Tendring District Local Plan.
- 1.4 Highways improvements including the provision of new roundabout and cycle way will be required.
- 1.5 The development will be expected to embrace the principles of sustainability with regard to transportation aspects.
- 1.6 Extensive advance structure planting will be required to protect the setting of Clacton-on-Sea and Little Clacton
- 1.7 A high standard of design will be required to achieve a high quality environment within the site.
- 1.8 Development will take place in a phased arrangement progressing from south to north.

2.0 STATUS AND SCOPE OF THE BRIEF

- 2.1 The purpose of this development brief is to set out the framework which will guide the phasing and development of land north of Oakwood Business Park for B1, B2 and B8 purposes.
- 2.2.1 The brief accompanies the grant of outline planning permission in connection with the use of the land for employment purposes. As such, any detailed or full application relating to the land, as may be submitted subsequently, will be expected to have regard to the contents of the brief.
- 2.3 The brief will therefore help to ensure that the development occurs in a manner which provides scope to meet the employment needs of Tendring District whilst enabling individual businesses scope to ensure that their own needs are also met.
- 2.4 The brief aims to highlight key opportunities and constraints:
- ◆ To aid the creation of new employment opportunities in the Clacton area.
 - ◆ To encourage appropriate land uses for the site and encourage development of high quality design.
 - ◆ To help protect existing site features and produce a landscaping framework which enhances the appearance of the area and contributes to a high quality development.
 - ◆ To help to protect residential amenities.
 - ◆ To help to protect the views towards Clacton from open countryside.
 - ◆ To help to co-ordinate the provision of roads and other infrastructure.
 - ◆ To encourage sustainable development of the application site.

3.0 BACKGROUND INFORMATION

- 3.1 The application site subject of this brief is intended to form and extension to the existing Oakwood Business Park and comprises approximately 12.5 ha (31 acres) gross, to the east of Thorpe Road. The land is currently agricultural.
- 3.2 The Adopted Tendring District Local Plan sets out the detailed planning policies for the area. Structure Plan Policy is contained in the Essex and Southend-on-Sea Replacement Structure Plan.
- 3.3 In April 1996, an Industrial Land Survey was undertaken jointly by Tendring District Council and Essex County Council. Although at that time 73 ha of employment land was undeveloped in the district, the study showed that only 4 ha of such land was available in Clacton (the main centre of population and employment)
- 3.4 This land comprised small, relatively unattractive sites which did not provide land to meet the needs of either new inward investment to the area or local expansion and relocation. Land allocated previously for industrial use has been taken up by development of the Clacton Common Factory Shopping Village, which opened in 1998.
- 3.5 Essex County Council, as strategic planning authority accepted that a need existed for approximately 13 ha (32 acres) of additional employment land to cover the identified shortfall.
- 3.6 A Planning Study prepared by the District Council in January 1997 was subject to public consultation and covered an area of approximately 6 ha (14 acres), forming part of the development site.
- 3.7 At the Council's Development and Planning Committee on 29 May 1997 it was resolved that 28 acres net of land north of the Oakwood Business Park. Clacton-on-Sea could be considered for release at a future date for development for uses within Class B1(business), B2(general industry) and B8 (storage and distribution) of the Town and Country Planning (Use Classes) Order 1987 (as amended), the justification being to meet the shortfall up to 2001. Proposals for a second site elsewhere in the district were subsequently abandoned, although 1.6 ha (4acres) of land has since received consent at the nearby Dalau site.
- 3.8 The identified need for the development site does, however, represent a departure from the approved development plan and is appropriate in this respect only as a special exception, to ensure that adequate provision exists for employment uses in the district during the plan period.
- 3.9 The site represents an important opportunity to provide a high quality and sustainable form of development which will help to attract and consolidate investment and employment opportunities within the designated Assisted Area.

- 3.10 A detailed archaeological evaluation of the development site has been carried out. This involved a desk-based assessment, field walking survey and geophysical survey. Little evidence for surviving archaeological deposits was identified and it is unnecessary for any further archaeological investigations to take place.
- 3.11 An overhead powerline crosses the site from south west to north east and may affect the alignment of roads within the site and the scope for significant tree planting. Consideration will have to be given to the undergrounding of this line.
- 3.12 There are residential properties adjacent to the site. The impact of detailed proposals on residential amenity will remain an important planning consideration.

4.0 LAND USES

- 4.1 It is proposed the site should be developed as a major industrial site for the following uses:
- i) B1 office
 - ii) B1 research and development
 - iii) B1 light industry
 - iv) B2 general industry
 - v) B8 storage or distribution
- 4.2 Although the uses listed are for a site to be developed as a departure from the Development Plan; it is important to ensure that development accords with the detailed policies contained in the Adopted Local Plan. To assist, Appendix 1 sets out the wording of policies in the Adopted Local Plan relevant to development of the site. For a fuller appreciation, including the written justification for policies, the Adopted Local Plan itself should be examined. However, specific detailed guidance in relation to the site concerning highways, landscape, design and layout, and phasing is contained in this brief.
- 4.3 An important aim of the brief is to help ensure that a quality development results. An attractive environment is frequently a locational criteria for businesses, both to attract staff and for customers visiting the business. The edge of town location also demands that careful attention be paid to the visual impact of the new development.
- 4.4 The possible development of a leisure centre adjacent Oak House Farm represents an opportunity to link with the business uses and should be taken into account in any detailed scheme.
- 4.5 Because there is no certainty as to the extent of individual development sites, no attempt has been made to zone the site for particular land-uses on particular parts of the site. It is recognised that flexibility is required, and that each completed parcel of development may have to be regarded as a self-contained entity, whilst complying with the overall framework for the site. Where two adjacent developments can be grouped architecturally, this should be done. Otherwise there will have to be an emphasis on buffer and tree planting strips to separate incongruous adjacent developments visually.
- 4.6 There will be two main types of control:-
- (a) Site – specific: respect for the landscape structure that has been laid down; positions where strong built forms and key built frontages are required.
 - (b) Land use – specific: certain criteria will apply to the design and layout of a development according to its type. The main categories of development have been identified and the design and layout criteria listed for each.

5.0 HIGHWAYS AND TRANSPORTATION

- 5.1 Means of vehicular access to the site will be primarily from Thorpe Road. Site access via a spine road will be provided from a new roundabout. The existing Fowler Road leading from Stephenson Road West can provide an additional means of access into a limited part of the site.
- 5.2 The County Highways Authority has agreed in principle the details of the roundabout site access. The roundabout is also required to provide means of vehicular access to the adjacent site at Oak House Farm, for which planning permission exists for the erection of a Sports Complex.
- 5.3 Any layout should not inhibit the potential for longer-term expansion of the site. However, the development brief boundaries define the edge of the development pending the review of the Tendring District Local Plan. Nevertheless, the northern boundary of the site will define the edge of the development and no further provision should be made in this direction in the interest of development not overextending into the countryside northwards away from Clacton.
- 5.4 The County Highways Authority has agreed the Traffic Impact Assessment submitted by Savill Bird and Axon accompanying the outline planning application.
- 5.5 Provision will be required for pedestrians, cyclists and public transport within the scheme. However, the County Highways Authority has confirmed that such details can be considered at the detailed application stage.
- 5.6 The Highway Authority will require a footpath/cycleway connection between the application site and the cycle facilities alongside Centenary Way between Thorpe Road and the Montana roundabout.
- 5.7 In order to achieve the earliest take up of opportunities for development, it will be necessary to ensure that internal access roads are provided in advance of the commencement of development for related units.
- 5.8 The Council's car parking standards are attached as Appendix 2

6.0 LANDSCAPE

- 6.1 The site is located at the urban edge of Clacton, within the rural area. It comprises mainly arable land and includes established hedgerows and mature trees. It will be necessary for the development to mitigate its impact on the landscape by appropriate landscape design measures.
- 6.2 The northern boundary of the site is also the Parish boundary between Clacton and Little Clacton. It has historic and strategic significance in landscape terms and must be protected as part of the development.
- 6.3 The hedges along the eastern boundary of the site include several oak pollards and two stands of wild service tree. These indicate further considerable historic landscape interest.
- 6.4 The hedges associated with ditches and a narrow grass brue also have considerable ecological value and retention of the hedge-ditch habitat within the development is considered necessary.
- 6.5 It is also considered essential to provide appropriate additional structure planting to create a dense screen and wildlife habitat around the site, as well as to limit views into the site from the open countryside to the north and east to maintain local visual quality.
- 6.6 Structure planting must comprise native and naturalised tree and shrub species and be carried out prior to the commencement of the development of the site.
- 6.7 A landscape framework will be required within the site to provide a unifying theme for the site. This should pay particular attention to feature tree planting along the main spine access road.
- 6.8 Within any plots allocated to individual uses, it is expected that individual detailed landscaping schemes will take account of the need to augment the overall landscape framework.
- 6.9 It is also expected that a significant landscape feature (i.e. sculpture or other design feature) will be sited at the main entrance from Thorpe Road roundabout.
- 6.10 The development of the site shall be preceded by the preparation of a detailed landscape scheme and management plan to ensure long-term establishment of an appropriate structure planting scheme providing minimum 10 metre wide structural planting bands to the north, north west and eastern site boundaries.
- 6.11 Site clearance of vegetation should aim to avoid the wild bird breeding season of April to July to avoid damage and destruction to nesting habitats, breeding birds or their young.

7.0 DESIGN AND LAYOUT

7.1 The layout of development within the site should make adequate provision for access to individual plots.

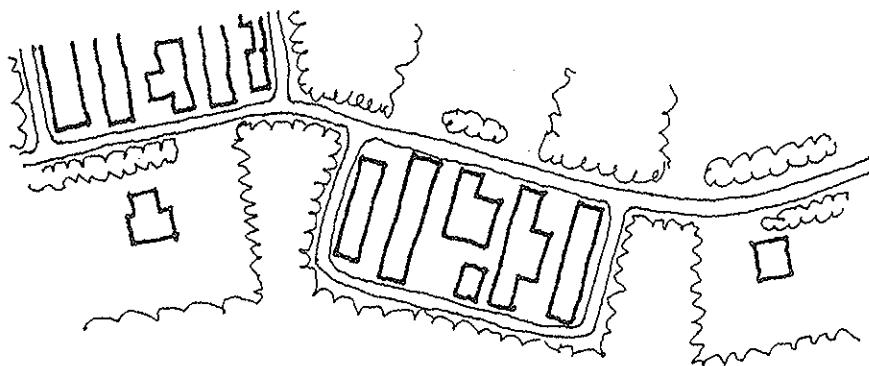
7.2 As the numbers and sizes of buildings are as yet unknown, it is acknowledged that there is a need to establish certain criteria against which detailed proposals will be considered. The following general criteria should apply:-

1. Except in special circumstances, no building should exceed 7.5 metres in height in order to ensure that views from the surrounding countryside will be protected.
2. Those buildings sited closest to and visible from the site entrance and main spine road will be expected to be of a high quality of design and comprise materials suited to a prestigious location.
3. In the interests of protecting residential amenities, Class B2 uses, high bulky buildings, and the service yards of Class B1 and B8 uses should not be located adjacent to residential curtilages on the western side of the site.
4. Careful attention should be paid to the appearance of the buildings within the site. Unbroken long elevations of gable ends, large areas of hardstanding or unsightly storage areas, loading bays and parking areas should be avoided.
5. Provision for advertisements, lighting and other security features such as CCTV and fencing should follow a common theme and be visually acceptable. High level lighting will not be appropriate and all lights will be expected to minimise pollution of the night sky.
6. Careful attention should be paid to avoiding high bulky buildings adversely affecting the setting of the listed building 'Oak House Farm'.
7. Adequate access for people with disabilities must be provided.
8. Any detailed or full application will be expected to include a design statement setting out the design principles which have been adopted in the scheme.
9. A high voltage overhead electricity line crosses the site. There are also overhead telephone cables and lower voltage overhead lines on the southern boundary of the site which must be addressed within any detailed design scheme.
10. Landscaping and/or screening by walls and fences will be expected for any open uses, car parking or service areas which would not contribute positively to the visual character of the development

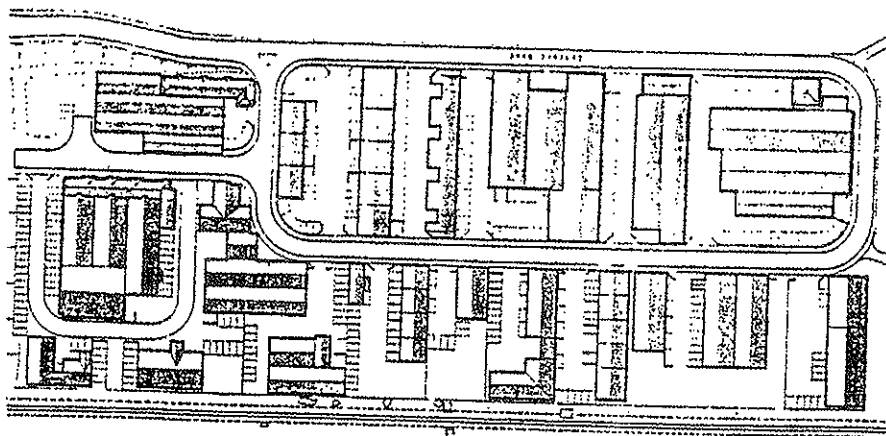
The following guidance should be addressed in relation to the design and layout of each type of development.

7.3 Industrial and Warehouse Units

These should be concentrated in groups of buildings of similar use, with each group to be separated from other development by a buffer zone of sufficient width to give a visual break and accommodate a belt of tree and shrub planting.

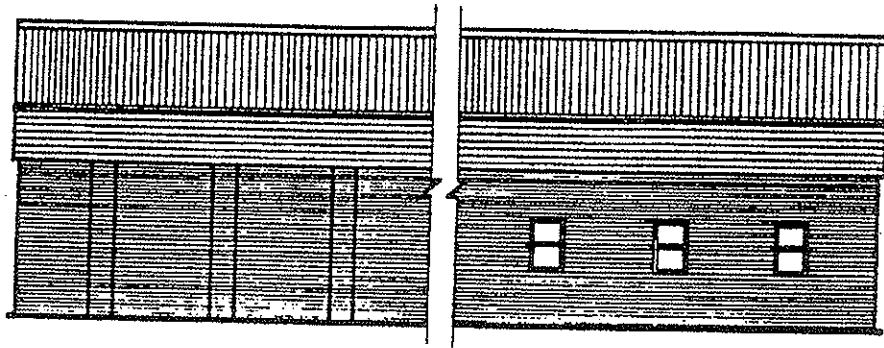


If possible, plots within each group should be served by an adoptable one-way loop road of 6 metre carriageway width two 2.1 metre vehicle-bearing footways with a continuous dropped kerb. This eliminates the need for space-consuming turning heads, and provides a proportion of plots with through ingress and egress which therefore do not have to accommodate vehicle turning manoeuvring within the plot.

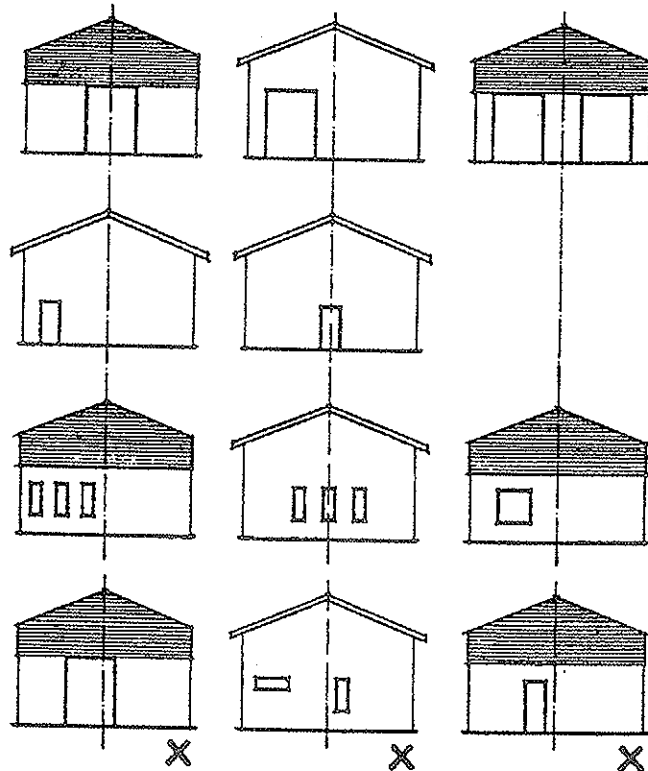


Buildings should be located in front of parking and service yards to screen such activities from the passer-by. Those parts of the road frontage not occupied by buildings or entrances should be screened by 1.8 metre high brick walls. Service yards, open storage, waste skip and bin areas should be kept to a minimum, located inconspicuously, and screened by earth bunds, landscaping or 1.8m high walls.

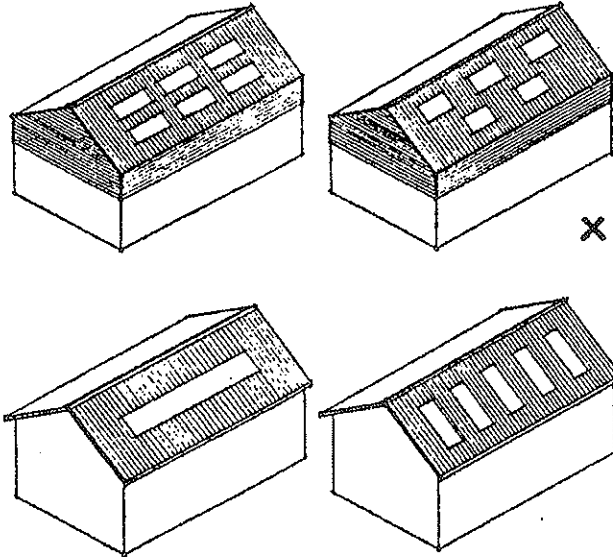
Long, unrelieved walls of buildings should be avoided. They should be punctuated by windows, doors or regularly spaced pilasters, buttresses or brickwork patterning. Walls should be of brickwork or painted render from ground level up to the underside of fascia or eaves.



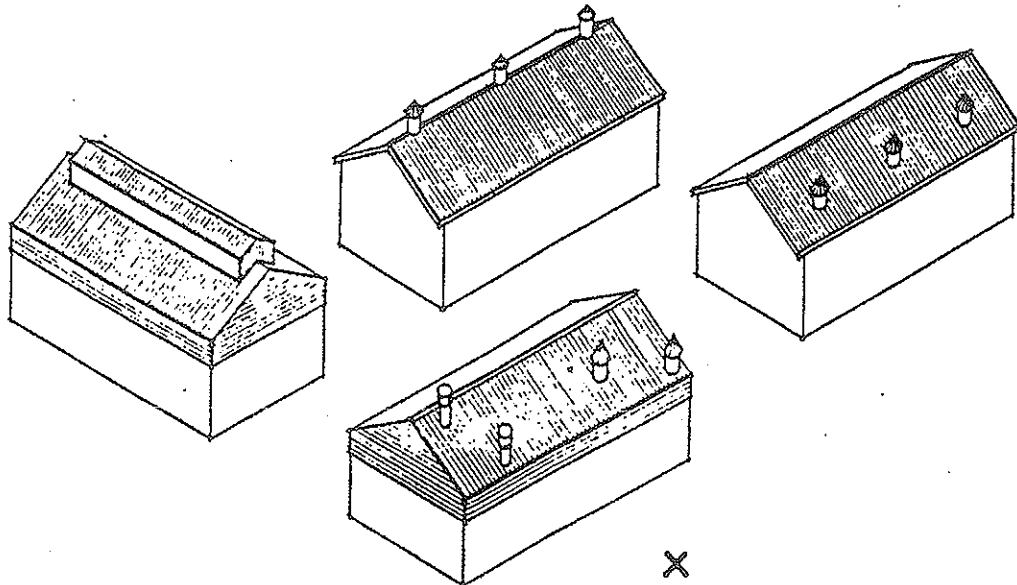
Windows and other openings or gable ends of buildings are to be centralized on the apex of the gable, or else fall definitely within one half of the gable or the other.



Rooflights should be arranged in bands, not scattered randomly over the roof.



Flues, ventilation fans, extractors, etc. should wherever possible be located within or on roofs in a regular pattern and painted black, or else housed within structures compatible with the design of the building. They should not be scattered randomly or project from walls.

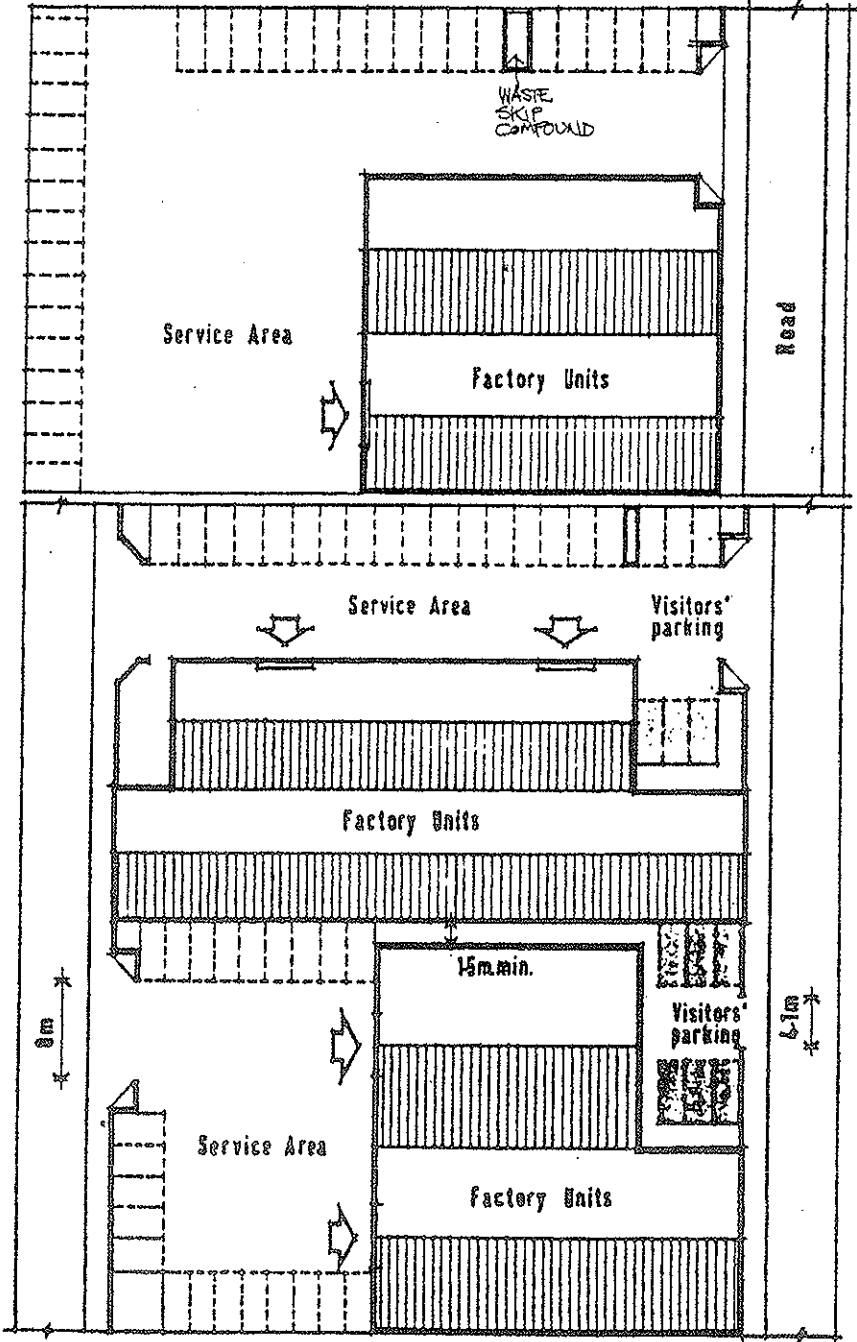


Signs should not be designed or positioned in such a way as to dominate a building. There should be an estate layout sign, showing the location of each firm, at the entrance to each estate. Where possible, signs should be fixed to walls or buildings, rather than freestanding.



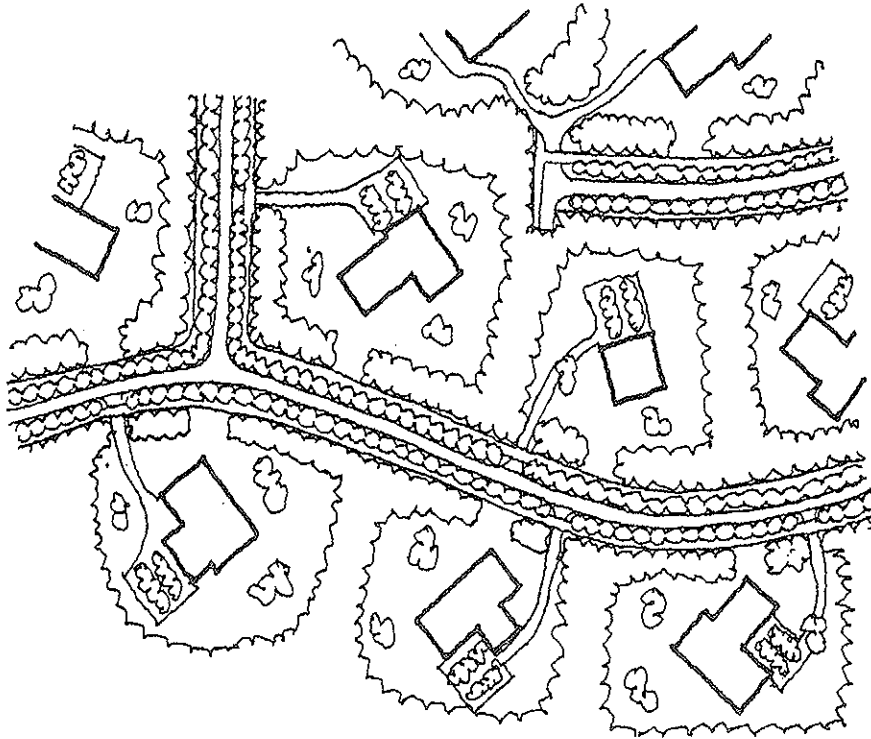
Car parking is to be in accordance with the Council's adopted car parking standards and located within 20 metres of the building served. Spaces for visitors should be provided in a visually obvious location not more than 10 metres from the entrance of the building.

Service yards should have a minimum unobstructed width of 8 metres. Each unit is to have a 1.8 metre high walled compound at least 3.5 x 4.5m within 5 metres of a loading door, to accommodate a waste skip, this compound to be drained into a foul sewer.



7.4 Office and High-Tech Units

These should be grouped in a landscape-dominated setting separate from other development by a buffer zone of sufficient width to give a visual break and accommodate a belt of tree and shrub planting.

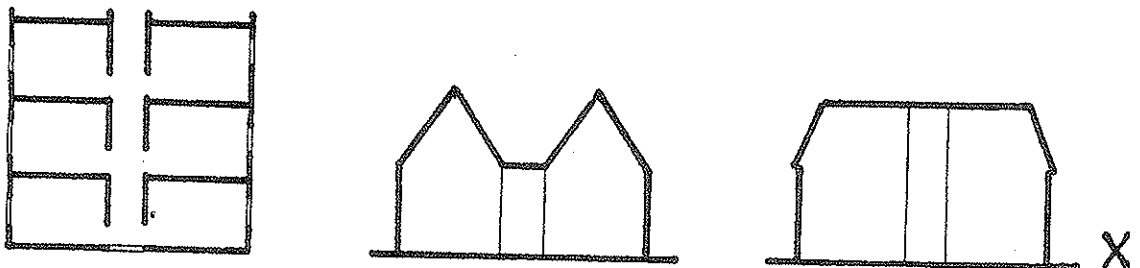


Car parking is to be provided in accordance with the Council's adopted car parking standards. Car parking should be screened by tree planting and/or grassed mounds or banks.

Service areas, open storage, waste skip and bin areas should be kept to a minimum, located inconspicuously, and screened by earth bunds, landscaping or 1.8m high walls.

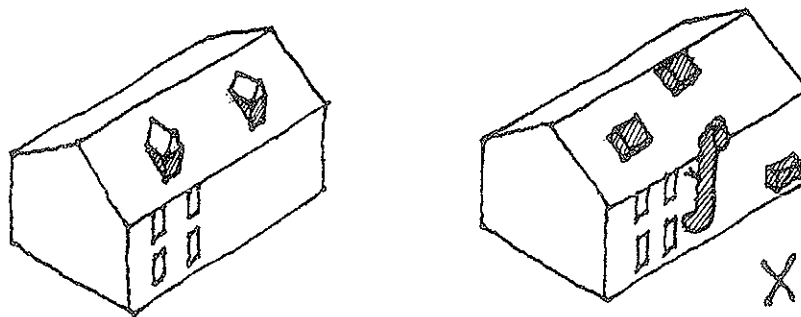
The area of each site not occupied by building, car park or access should be generously planted with trees and grass areas. Where possible, planting should extend right up to the building. A detailed planting scheme must form part of any planning application for each site. Roads running past office or high-tech sites are to have tree-planted verges at least 3 metres wide.

It is difficult to generalize about the plan forms of office and high-tech buildings, as in some cases the requirement is for wide areas of unobstructed internal space, in others it is for rows of small cellular spaces served by spine corridors. It is expected that office buildings will be narrower in plan and have steeper roof pitches. It may, for example, be advantageous to have a separate pitched roof over each row of offices flanking a central corridor spine. Flat-topped mansard roofs with pitched sides will not be allowed.



The building envelope should be fragmented as far as possible by stair towers, entrance foyers, etc. Long, blank elevations should be relieved by windows, doors, colonnades, exposed structural columns, pilasters, buttresses, etc. Facing materials should be of higher standard than those normally used for industrial buildings, e.g. good quality facing brick, high specification cladding systems, clay roof tiles, colour-anodized or coated windows.

Flues, ventilation fans, extractors, etc. should be located within or on roofs in a regular pattern and painted black, or preferably, housed within structures compatible with the design of the building. They should not be scattered randomly or project from walls.



Signs should not be designed or positioned in such a way as to dominate a building.

8.0 PHASING

- 8.1 Development will take place in two main Phases. Phase 1 will comprise a maximum of 1.0 hectare (net) of the southern area of the site to be accessed from Fowler Road. This phase can be developed prior to the provision of the Thorpe Road roundabout, the widening Thorpe Road and provision of the spine road.
- 8.2 The remaining parts of the site shall be developed upon the completion of Phase 1 and the implementation of the highway improvements, construction of the spine road and related spur roads and the provision of public transport facilities. Consideration may be given to the development of units in Phase 2 prior to the completion of Phase 1, where special circumstances can be demonstrated.

RELEVANT POLICIES OF THE
ADOPTED TENDRING DISTRICT LOCAL PLAN

- POLICY TE7 IN CONSIDERING PROPOSALS FOR THE ESTABLISHMENT, EXPANSION OR CHANGE OF USE TO INDUSTRIAL OR WAREHOUSING USES THE DISTRICT PLANNING AUTHORITY WILL NEED TO BE SATISFIED THAT:-
- i) THE SCALE AND NATURE OF THE PROPOSAL IS APPROPRIATE TO THE LOCALITY, INCLUDING ITS RELATIONSHIP WITH ADJACENT USES;
 - ii) THERE IS NO UNACCEPTABLE IMPACT ON AMENITY IN TERMS OF APPEARANCE, NOISE, SMELL, DIRT OR OTHER POLLUTION;
 - iii) SITES HAVE SATISFACTORY VEHICULAR ACCESS AND ADEQUATE CAR PARKING. MAJOR NEW INDUSTRIAL OR WAREHOUSING SITES INCLUDING TRANSPORT STORAGE OPERATIONS MUST HAVE DIRECT ACCESS ONTO THE PRIMARY ROUTE NETWORK;
 - iv) MAINS WATER TOGETHER WITH MAINS SEWERAGE AND/OR ADEQUATE SEWAGE AND TRADE EFFLUENT TREATMENT FACILITIES CAN BE MADE AVAILABLE;
 - v) THE SITE HAS ACCEPTABLE STORAGE FACILITIES. THE OPEN STORAGE OF GOODS, CONTAINERS, WASTE MATERIALS OR FINISHED PRODUCTS WILL NOT BE ALLOWED WHERE SUCH ACTIVITY IS CONSIDERED TO BE VISUALLY INTRUSIVE;
 - vi) IN RELATION TO CHANGES OF USE, THAT THE EXISTING PREMISES ARE SUITABLE FOR THE PURPOSE; AND
 - vii) IN RELATION TO NEW SITES, THE NEED FOR A COMPREHENSIVE DESIGN BRIEF, INCLUDING A LANDSCAPING SCHEME (SEE POLICY TD9) HAS BEEN CONSIDERED AND IF NECESSARY PREPARED.
- POLICY TE14 WHEN ASSESSING DEVELOPMENT PROPOSALS INVOLVING EXISTING OR PROPOSED HAZARDOUS USE SITES OR SPECIAL INDUSTRIAL USES THE DISTRICT PLANNING AUTHORITY WILL TAKE NECESSARY STEPS TO PROPERLY EVALUATE THE RISKS TO THE PUBLIC OR THE ENVIRONMENT.
- POLICY TE16 THE DISTRICT COUNCIL WILL ENCOURAGE THE PROVISION OF ACCOMMODATION SUITABLE FOR SMALL BUSINESSES ON ALLOCATED AND EXISTING INDUSTRIAL SITES, AND ALSO IN RELATION TO PROPOSALS COVERED BY POLICIES TE5 AND TE6.
- POLICY TT9 ALL DEVELOPMENT PROPOSALS INVOLVING THE PROVISION OF CAR PARKING SPACES SHOULD NORMALLY COMPLY WITH THE DISTRICT PLANNING AUTHORITY'S ADOPTED CAR PARKING STANDARDS. PARTICULAR CARE SHOULD BE EXERCISED OVER THE LOCATION OF CAR PARKING AREAS TO AVOID UNDUE NOISE AND DISTURBANCE. PROMINENT CAR PARKING AREAS SHOULD BE SCREENED BY APPROPRIATE LANDSCAPING.

- POLICY TCR8** WHERE APPROPRIATE, DEVELOPMENT PROPOSALS WILL BE JUDGED IN RELATION TO THEIR IMPACT ON THE SURROUNDING LANDSCAPE AND WHETHER OR NOT SUCH PROPOSALS DETRACT FROM VIEWS ACROSS OPEN COUNTRYSIDE.
- POLICY TCR13** WHEN CONSIDERING PROPOSALS FOR DEVELOPMENT, THE DISTRICT PLANNING AUTHORITY WILL REQUIRE EXISTING TREES, WOODLANDS AND HEDGEROWS TO BE RETAINED WHEREVER ENVIRONMENTALLY DESIRABLE. THE DISTRICT PLANNING AUTHORITY WILL ALSO CONTINUE ITS POLICIES OF CARRYING OUT NEW PLANTING OF APPROPRIATE NATIVE BROADLEAVED SPECIES AND PRESERVING IMPORTANT TREES AND WOODLANDS BY SECURING THE CO-OPERATION OF LANDOWNERS OVER THEIR FUTURE MANAGEMENT AND BY SERVING TREE PRESERVATION ORDERS WHERE NECESSARY. DEVELOPMENT WHICH WOULD ADVERSELY AFFECT ANCIENT WOODLANDS WILL NOT BE PERMITTED.
- POLICY TD1** NEW BUILDINGS, EXTENSIONS OR ALTERATIONS MUST BE WELL DESIGNED IN THEMSELVES AND RELATE SATISFACTORILY TO THEIR SETTING. ALL PROPOSALS WILL BE CONSIDERED IN RELATION TO THEIR SCALE, DENSITY, HEIGHT, MASSING, LAYOUT, LANDSCAPING AND ACCESS.
- POLICY TD2** THE EXTERNAL MATERIALS OF NEW DEVELOPMENTS SHALL GENERALLY BE SYMPATHETIC IN COLOUR AND TEXTURE WITH THEIR SETTING.
- POLICY TD9** APPLICATIONS FOR EMPLOYMENT USES WILL BE EXPECTED TO RECOGNISE THE NEED FOR HIGHER DESIGN STANDARDS AND APPROPRIATE COMMUNAL AREAS OF LANDSCAPING. THE DEVELOPMENT OF NEW SITES SHALL BE BASED ON DESIGN BRIEFS SETTING OUT ACCESS AND INTERNAL LAYOUT REQUIREMENTS, SITE COVERAGE RATIOS, PROVISION FOR A LANDSCAPING PROGRAMME AND ON-GOING MAINTENANCE, PARKING PROVISION AND CRITERIA FOR THE MASSING, DESIGN AND MATERIALS OF BUILDINGS. IN RURAL AND VILLAGE LOCATIONS NEW INDUSTRIAL BUILDINGS WILL NORMALLY BE EXPECTED TO USE TRADITIONAL FARM BUILDING GROUPS AS A POINT OF REFERENCE FOR THEIR DESIGN.
- POLICY TD10** WHEN CONSIDERING PROPOSALS FOR NEW DEVELOPMENT THE DISTRICT PLANNING AUTHORITY WILL REQUIRE THE RETENTION OF EXISTING TREES, HEDGEROWS AND SHRUBS WHEREVER APPROPRIATE. A SCHEME OF LANDSCAPING WILL NORMALLY BE REQUIRED BY CONDITION. SUCH SCHEMES COULD INCLUDE PROPOSALS FOR TREE AND SHRUB PLANTING, EARTH MOULDING, WALLING, HARD SURFACING OR STREET FURNITURE, AS APPROPRIATE. NATIVE SPECIES SHOULD NORMALLY BE A PREDOMINANT FEATURE IN NEW TREE PLANTING SCHEMES. A SUBSTANTIAL BELT OF TREE PLANTING WILL NORMALLY BE EXPECTED WHERE NEW DEVELOPMENT ADJOINS OPEN COUNTRYSIDE.

POLICY TD11 IN EXERCISING CONTROL OF ADVERTISEMENTS THE DISTRICT PLANNING AUTHORITY WILL APPLY THE FOLLOWING PRINCIPLES AND CRITERIA:-

i] PROPOSALS FOR ADVERTISEMENTS SHOULD:-

a] BE WELL DESIGNED AND SITED AND RESPECT THEIR SURROUNDINGS;

b] RESPECT THE CHARACTER AND ARCHITECTURAL FEATURES OF THE BUILDING ON WHICH THEY ARE DISPLAYED;

c] NOT ENDANGER TRAFFIC;

d] NOT BE DETRIMENTAL TO THE AMENITIES OF RESIDENTS OR OTHERWISE EXCESSIVELY OBTRUSIVE IN THE STREET SCENE;

e] NOT RESULT IN ADVERTISEMENT CLUTTER TO THE DETRIMENT OF VISUAL AMENITY OR PUBLIC SAFETY;

ii] IN CONSIDERING THE DESIGN OF ADVERTISEMENTS, REGARD WILL BE GIVEN TO THE PROPOSED DIMENSIONS, MATERIALS, COLOURING AND LETTERING AND TO THE INTENSITY AND TYPE OF ANY ILLUMINATION;

iii] IN GENERAL, ADVERTISEMENTS ON BUILDINGS WILL NORMALLY BE RESTRICTED TO BELOW FIRST FLOOR WINDOW SILL LEVEL;

iv] ADVERTISEMENTS WILL ONLY EXCEPTIONALLY BE PERMITTED IN PREDOMINANTLY RESIDENTIAL AREAS, AND WILL NORMALLY BE RESTRICTED TO DISCRETE SIGNS FOR THE ESSENTIAL NEEDS OF LOCAL AND PROFESSIONAL SERVICES;

v] ADVERTISEMENT HOARDINGS WILL NORMALLY BE LIMITED TO COMMERCIAL OR MIXED USE AREAS OR AS TEMPORARY CONSENTS FOR THE SCREENING OF SITES PRIOR TO OR DURING DEVELOPMENT, OR EXCEPTIONALLY TO SCREEN EXISTING "EYESORES". A LANDSCAPING SCHEME WILL NORMALLY BE EXPECTED WITH SUCH PROPOSALS.

POLICY TD13 APPLICATIONS FOR THE DEVELOPMENT OF (AND WHERE PRACTICABLE AND REASONABLE, CHANGES OF USE OR ALTERATIONS TO) BUILDINGS OPEN TO THE PUBLIC AND BUILDINGS USED FOR EMPLOYMENT AND EDUCATION PURPOSES SHOULD PROVIDE SUITABLE ACCESS AND FACILITIES FOR PEOPLE WITH DISABILITIES, AS CUSTOMERS, VISITORS AND EMPLOYEES.

POLICY TD18 THE DISTRICT PLANNING AUTHORITY WHEN CONSIDERING PROPOSALS FOR LARGER DEVELOPMENTS WILL NEGOTIATE WITH APPLICANTS PLANNING OBLIGATIONS FOR THE PROVISION OF APPROPRIATE LOCAL SERVICES, FACILITIES AND OTHER COMMUNITY BENEFITS THE NEED FOR WHICH ARISE FROM THAT DEVELOPMENT.

CAR PARKING STANDARDS

Offices

A MINIMUM OF 2 CAR PARKING SPACES PER UNIT AND IN ADDITION 1 SPACE FOR EVERY 30M² GROSS FLOORSPACE.

However where offices are to be built to the requirements of a specific client whose staffing and visitor requirements are known, the application will be considered on its individual merits.

Commercial Development

- i) Industry – all industrial premises within the classification B2 of the Town and Country Planning (Use Classes) Order 1987. Adequate provision must be made for the parking and turning of service vehicles.

A MINIMUM PROVISION OF 2 CAR PARKING SPACE PER UNIT AND, IN ADDITION, 1 SPACE FOR EVERY 50M² GROSS FLOORSPACE, EXCEPT THAT, WHERE THE OFFICE FLOORSPACE EXCEEDS 200M² OR 20% OF THE TOTAL FLOORSPACE OF THE DEVELOPMENT, PROVISION SHALL BE 1 SPACE FOR EVERY 30M² GROSS OFFICE FLOORSPACE AND 1 SPACE FOR EVERY 60M² OF THE REMAINING FLOORSPACE.

- (ii) Warehousing – this excludes all enterprises providing storage and distribution as a service but excludes “cash and carry” warehouses. Adequate provision must be made for the parking and turning of service vehicles.

- | | | |
|----|---|--|
| a. | Developments of gross floorspace less than 5,500m ² | A MINIMUM OF 3 SPACES AND IN ADDITION 1 SPACE FOR EVERY 280M ² GROSS FLOORSPACE |
| b. | Developments of gross floorspace greater than 5,500m ² | EACH APPLICATION WILL BE DEALT WITH ON ITS MERITS |
| c. | WHERE PREMISES ARE PROPOSED FOR THE USE OF A SPECIFIED CLIENT, THE APPLICATION WILL BE DEALT WITH ON ITS MERITS IN RELATION TO THE NEEDS OF THE INTENDING OCCUPIER. | |

- (iii) High Technology Industry – office/research/laboratory/production units, primarily in the fields of electronics, micro engineering, pharmaceuticals and biochemistry. Adequate provision must be made for the parking and turning of service vehicles.

ONE CAR PARKING SPACE FOR EVERY 35M² GROSS FLOORSPACE

9.0 USEFUL CONTACTS

Planning and Building Services
Council Offices
Thorpe Road
Weeley
Clacton-on-Sea
Essex CO16 9AJ

Tel: 01255 425501

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